

# COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave, Suite B-21, Lake City, FL 32055

Phone: 386-758-1008 Fax: 386-758-2160

[bldginfo@columbiacountyfla.com](mailto:bldginfo@columbiacountyfla.com)

Scan QR code to submit online.

(On next page)

## New Commercial Constuction Application Checklist

- ☐ 2nd pg of Permit Application with PROPERTY OWNER'S Signature & Notarized Contractor Signature - The deeded property owner must sign page 2 of Application.....
- ☐ Subcontractors Verification Form, signed by the license holder/contractor or authorized Qualifier for each trade.....
- ☐ License Holders (Contractors) must complete a "Letter of Authorization" for who is authorized to pull the permit on their behalf.....
- ☐ If an Owner Builder, Notarized Owner Disclosure Statement is required.....
- ☐ Proof of ownership by way of Recorded Deed or Property Appraiser's parcel details printout-- visit <https://search.ccpafl.com/>.....
- ☐ Corporation or Trust Details listing authorized signor(s) and POA forms if necessary.....
- ☐ 911 Address applications or verifications are submitted/found online. Visit <https://www.columbiacountyfla.com/BuildingandZoning.asp>.....
- ☐ Commercial Checklist completed including Product Approval Code Specifications Sheet.....
- ☐ **Site Plan:** FOLLOW THE SITE PLAN CHECKLIST, included in this packet. ....
- ☐ Recorded Notice of Commencement; before 1st inspection.....
- ☐ For hard copy apps: 2 sets of plans folded to 9x12 size with Signed & Sealed Engineering; For online apps: 1 set of Engineered plans digitally sealed (verifiable).....
- ☐ For hard copy apps: 2 sets of Truss Engineering Signed & Sealed; For online apps: 1 set of Truss Engineering digitally sealed (verifiable).....
- ☐ For hard copy apps: 2 sets of Energy Codes & Manual J Forms; For online apps: 1 set of Energy Codes & Manual J Forms.....
- ☐ Provide any other pertinent information we should know: Development Permits/Zoning Applications, if applicable.....
- ☐ Approved and Signed Site Plan from Environmental Health for septic; contact 386.758.1058.....
- ☐ If on City Water or Sewer, City Availability Letter required. If on the Ellisville Water System; contact 386.719.7565 for review.....
- ☐ Any other necessary documents requested (Floodplain Notice to Owner, etc...).....
- ☐ **Right-of-Way Connection:** If no record of a driveway exists, a right-of-way application will be needed. If an existing drive exists, make the 'verify existing drive' selection. If drive is verified as existing, no fee assessed. If there is no existing drive, Public Works will determine what is needed and a fee of \$150 will be assessed. If the property is accessed from a state maintained road, then an approval for FDOT must be received before a permit will be issued.  
**NO RELEASE OF FINAL POWER will be given until driveway access is complete and given final approval.**.....



# Columbia County, Florida New Commercial Permit Application



\*\*Scan QR Code to  
complete application online.

**For Office Use Only**

Application # \_\_\_\_\_

Permit # \_\_\_\_\_

Comments/Notes \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**\*This page not required for Online submissions.**

☐ Septic Permit No. \_\_\_\_\_ OR ☐ City Water

Applicant \_\_\_\_\_ Phone # \_\_\_\_\_  
(person applying, not owner)

Applicant Address \_\_\_\_\_

Contact Email (updates sent here) \_\_\_\_\_

Owners Name \_\_\_\_\_ Phone # \_\_\_\_\_

Job Site Address \_\_\_\_\_

Contractors Name \_\_\_\_\_ Phone # \_\_\_\_\_

Contractors Address \_\_\_\_\_

Contractors Email \_\_\_\_\_

Architect/Engineer Name & AR/PE # \_\_\_\_\_

Architect Address \_\_\_\_\_

Power Company - ☐ FI Power & Light - ☐ Clay Electric - ☐ Suwannee Valley - ☐ Duke Energy

Parcel # \_\_\_\_ - \_\_\_\_ - \_\_\_\_ - \_\_\_\_ - \_\_\_\_ Estimated Cost of Construction \_\_\_\_\_

Construction of \_\_\_\_\_ ☐ Commercial

Proposed Use/Occupancy \_\_\_\_\_ # of Existing Dwellings on Property \_\_\_\_\_

Is the Building Fire Sprinkled? ☐ YES ☐ NO If YES, blueprints included ☐

OR Explain \_\_\_\_\_

☐ Have Existing Drive ☐ Need a Right-of-way Permit ☐ Right-of-way Permit # \_\_\_\_\_

\*\*\*Please be advised all New Commercial applications may prompt a right-of-way permit regardless of existing/private driveway\*\*\*

**Actual Distance of Structure from Property Lines -**

Front \_\_\_\_\_ Side \_\_\_\_\_ Side \_\_\_\_\_ Rear \_\_\_\_\_

\*\*\*Please be advised you will still need to provide a site plan drawing along with filling in the above section\*\*\*

Number of Stories \_\_\_\_\_ Heated Floor Area \_\_\_\_\_ Total Floor Area \_\_\_\_\_ Acreage \_\_\_\_\_

Zoning Applications Applied for (Site & Development, Special Exception, etc.)

\_\_\_\_\_

\_\_\_\_\_

**CODES: 2023 Florida Building Code 8th Edition and the 2020 National Electrical Code**

Published 10/2025



# HOW TO APPLY FOR A 911 ADDRESS



Applications must be submitted online using the link below.

[www.columbiacountyfla.com/PermitSearch/AddressingApplication.aspx](http://www.columbiacountyfla.com/PermitSearch/AddressingApplication.aspx)

Please be prepared to upload a site plan similar to the one below.

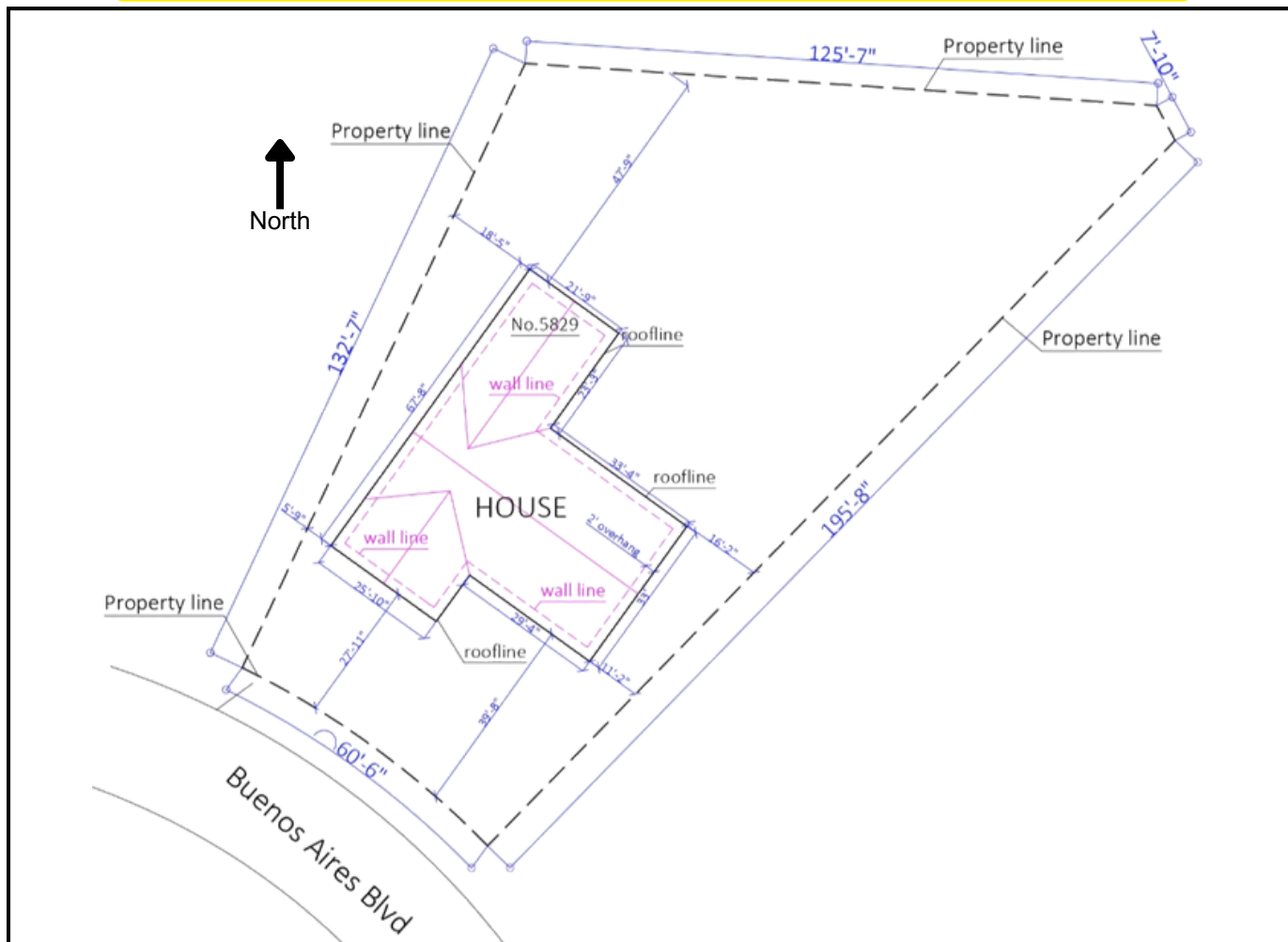
## SITE PLAN CHECKLIST:

- \_\_\_ 1) Property Dimensions
- \_\_\_ 2) Footprint of proposed and existing structures (including decks, label these with existing addresses
- \_\_\_ 3) Distance from structures to all property lines
- \_\_\_ 4) Location and size of easements
- \_\_\_ 5) Driveway path and distance from any waters; sink holes; wetlands; and etc.
- \_\_\_ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- \_\_\_ 7) Show slopes and/or drainage paths
- \_\_\_ 8) Arrow showing North direction



Scan QR Code to  
make application

**\*\*If applying for a building permit, please use the same site plan for the 911 Address Application.**



Please note that it can take up to 14 business days for your application to be processed

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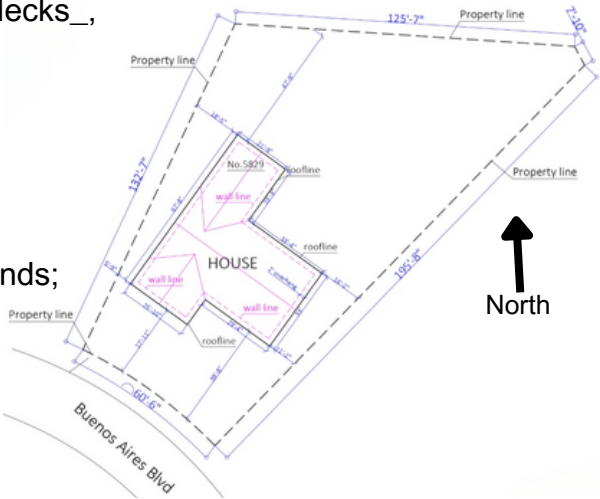
# PROPOSED SITE PLAN



**SITE PLAN CHECKLIST:**

- \_\_\_ 1) Property Dimensions
- \_\_\_ 2) Footprint of proposed and existing structures (including decks\_\_, label these with existing addresses
- \_\_\_ 3) Distance from structures to all property lines
- \_\_\_ 4) Location and size of easements
- \_\_\_ 5) Driveway path and distance from any waters; sink holes; wetlands; and etc.
- \_\_\_ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- \_\_\_ 7) Show slopes and/or drainage paths
- \_\_\_ 8) Arrow showing North direction

**SITE PLAN EXAMPLE**



# COLUMBIA COUNTY BUILDING DEPARTMENT

## COMMERCIAL CHECKLIST

### MINIMUM PLAN REQUIREMENTS:

**FLORIDA BUILDING CODE 2023, NATIONAL ELECTRIC CODE 2020, FLORIDA PLUMBING CODE, FLORIDA MECHANICAL CODE, AND GAS CODE 2023**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT FLORIDA BUILDING CODES. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION.

FOR DESIGN PURPOSES, THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609.3(1) THROUGH 1609.3(4) ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES.

JOB SITE ADDRESS: \_\_\_\_\_

APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL													
GENERAL REQUIREMENTS													
										YES	NO	N/A	
1	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void												
2	If the design professional is an architect or engineer legally registered under the laws of this state regulating the practice of architecture as provided for in Chapter 481, Florida Statutes, Part I, or engineering as provided in Chapter 471, Florida Statutes, then he or she shall affix his or her official seal to said drawings, specifications and accompanying data, as required by Florida Statute												
3	The design professional signature shall be affixed to the plans												
4	Two (2) complete sets of plans, One (1) if digitally sealed, with the architecture or engineer signature and the date the affixed embossed symbol was placed on the plans.												
BUILDING SITE PLAN REQUIREMENTS													
5	Parking, including provision Florida Building Code Accessibility Code												
6	Fire access, showing all driveways that are accessible for emergency vehicles												
7	Driving/turning radius of parking lots												
8	Vehicle loading include truck dock loading or rail site loading												
9	Nearest or number of onsite Fire hydrant/water supply/post indicator valve (PIV)												
10	Setback of all existing or proposed structures from each structure and property boundaries, Show all separation including assumed property lines												
11	Location of specific tanks (above or under grown water lines and sewer lines and septic tank and drain fields)												
12	All structures exterior views include finished floor elevation												
13	Total height of structure(s) from established grade												
REVIEW REQUIRED BY THE COLUMBIA COUNTY FIRE DEPARTMENT ITEMS 15 - 45 (WE CONTACT THE FIRE DEPARTMENT FOR YOU)													
14. Occupancy group use (select all uses)	Group A (Assembly) <input type="checkbox"/>	Group B (Office) <input type="checkbox"/>	Group E (Educational) <input type="checkbox"/>	Group F (Factory) <input type="checkbox"/>	Group H (Hospital) <input type="checkbox"/>	Group I (Institutional) <input type="checkbox"/>	Group M (Manufacturing) <input type="checkbox"/>	Group R (Retail) <input type="checkbox"/>	Group S (Storage) <input type="checkbox"/>	Group U D (Uses not elsewhere specified, Dormitory) <input type="checkbox"/>			
15	Special occupancy requirements												
16	Incidental use areas (total square footage for each room of use area)												
17	Mixed occupancies												
18	REQUIRED SEPARATION OF OCCUPANCIES IN HOURS FBC TABLE 707.3.10												

MINIMUM TYPE OF PERMITTED CONSTRUCTION BY CODE FOR OCCUPANCY USE (circle the construction type FBC 602)							
19	Type I (FBC: 602.2)	Type II (FBC: 602.2)	Type III (FBC: 602.3)	Type IV (FBC: 602.4)	Type V (FBC: 602.5)		
FIRE-RESISTENT CONSTRUCTION REQUIREMENTS							
						YES	NO
20	Fire-resistant separations						
21	Fire-resistant protection for type of construction						
22	Protection of openings and penetrations of rated walls						
23	Protection of corridors and penetrations of rated walls						
24	Fire blocking and draft stopping and calculated fire resistance						
FIRE SUPPRESSION SYSTEMS							
25	Early warning smoke evacuation systems Schematic fire sprinklers Standpipes						
26	Standpipes						
27	Pre-engineered systems						
28	Riser diagram						
LIFE SAFETY SYSTEMS							
29	Occupant load and egress capacities						
30	Early Warning						
31	Smoke Control						
32	Stair Pressurization						
33	Systems Schematic						
OCCUPANCY LOAD/EGRESS REQUIREMENTS							
34	Occupancy load						
35	Gross occupancy load						
36	Net occupancy load						
37	Means of egress						
38	Exit access						
39	Exit discharge						
40	Stairs construction/geometry and protection						
41	Doors						
42	Emergency lighting and exit signs						
43	Specific occupancy requirements						
44	Construction requirements						
45	Horizontal exits/exit passageways						
STRUCTURAL REQUIREMENTS							
46	Solid conditions/analysis						

# **STRUCTURAL REQUIREMENTS (CONT'D)**

		YES	NO	N/A
47	Termite Protection			
48	Design Loads			
49	Wind Requirements			
50	Building Envelope			
51	Structural Calculations (if required)			
52	Foundation for structures with foundation which establish new electrical utility companies service connection, a Concrete Encased Electrode will be required per the National Electrical Code article 250.52.3			
53	Wall Systems			
54	Floor Systems			
55	Roof Systems			
56	Threshold Inspection Plan			
57	Stair Systems			

## **MATERIALs**

58	Wood			
59	Steel			
60	Aluminum			
61	Concrete			
62	Plastic			
63	Glass			
64	Masonry			
65	Gypsum Board and Plaster			
66	Insulating (mechanical)			
67	Roofing			
68	Insulation			

## **ACCESSIBILITY REQUIREMENTS**

69	Site Requirements			
70	Accessible Route			
71	Vertical Accessibility			
72	Toilet and Bathing Facilities			
73	Drinking Fountains			
74	Equipment			
75	Special Occupancy Requirements			
76	Fair Housing Requirements			



**REVIEW REQUIRED BY THE COLUMBIA COUNTY FIRE DEPARTMENT ITEMS 77 - 82  
(WE CONTACT THE FIRE DEPARTMENT FOR YOU)  
INTERIOR REQUIREMENTS SHALL INCLUDE THE FOLLOWING:**

		YES	NO	N/A
77	Interior Finishes (flame spread/smoke development)			
78	Light and Ventilation			
79	Sanitation			
<b>SPECIAL SYSTEMS</b>				
80	Elevators			
81	Escalators			
82	Lifts			
<b>SWIMMING POOLS</b>				
83	Barrier Requirements			
84	Spas and Wading Pools			
85	Access required per Florida Building Code 454.1.2.5			
<b>ELECTRICAL</b>				
86	Wiring			
87	Services for structures with foundation which establish new electrical utility companies service connection, a Concrete Encased Electrode will be required within the foundation to serve as a grounding electrode system per the National Electrical Code article 250.52.3			
88	Feeders and Branch Circuits			
89	Overcurrent Protection			
90	Grounding			
91	Wiring Methods and Materials			
92	GFCIs			
93	Equipment			
94	Special Occupancies			
95	Emergency Systems			
96	Communication Systems			
97	Low Voltage			
98	Load Calculations			
<b>PLUMBING</b>				
99	Minimum Plumbing Facilities			
100	Fixture Requirements			
101	Water Supply Piping			
102	Sanitary Drainage			
103	Water Heaters			
104	Vents			

PLUMBING (CONT'D)				
		YES	NO	N/A
105	Roof Drainage			
106	Back Flow Prevention			
107	Irrigation			
108	Location of Water Supply Line			
109	Grease Traps			
110	Environmental Requirements			
111	Plumbing Riser			
<b>MECHANICAL</b> <b>REVIEW REQUIRED BY THE COLUMBIA COUNTY FIRE DEPARTMENT ITEMS 113 - 116</b> <b>(WE CONTACT THE FIRE DEPARTMENT FOR YOU)</b>				
112	Energy Calculations			
113	Exhaust Systems			
114	Clothes Dryer Exhaust			
115	Kitchen Equipment Exhaust			
116	Specialty Exhaust Systems			
<b>EQUIPMENT LOCATION</b>				
117	Make-up Air			
118	Roof-mounted Equipment			
119	Duct Systems			
120	Ventilation			
121	Laboratory			
122	Combustion Air			
123	Chimneys, Fireplaces, and Vents			
124	Appliances			
125	Boilers			
126	Refrigeration			
127	Bathroom Ventilation			
<b>GAS</b> <b>REVIEW REQUIRED BY THE COLUMBIA COUNTY FIRE DEPARTMENT ITEMS 128 - 136</b> <b>(WE CONTACT THE FIRE DEPARTMENT FOR YOU)</b>				
128	Gas Piping			
129	Venting			
130	Combustion Air			
131	Chimneys and Vents			
132	Appliances			
133	Type of Gas			
134	Fireplaces			

GAS (CONT'D)					
			YES	NO	N/A
135	LP Tank Location				
136	Riser Diagram/Shutoffs				
NOTICE OF COMMENCEMENT					
137	A recorded (in Columbia County Clerks Office) Notice of Commencement is required to be on file with the building department <b>before any inspections will be granted</b>				
DISCLOSURE STATEMENT FOR OWNER BUILDERS					
138	An Owner Builder Disclosure Statement must be on file prior to issuance of any permit to an Owner Builder - Owner Builders can pull their own permit for any project up the estimated cost of \$75,000				
PRIVATE POTABLE WATER					
139	Horse Power of Pump Motor				
140	Capacity of Pressure Tank				
141	Cycle Stop Valve if Used				
THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS					
142	Building Permit Application	A Building Permit Application is to be completed by following the checklist all supporting documents must be submitted. Completed applications can be brought in to the office or applied for online @ <a href="https://www.columbiacountyfla.com/PermitSearch/MyBNZPortalLogin.aspx">https://www.columbiacountyfla.com/PermitSearch/MyBNZPortalLogin.aspx</a>			
143	Parcel Number	The parcel number (Tax ID number) from the Property Appraiser is required. A copy of property deed is also required. Call 386.758.1083			
144	Environmental Health Permit or Sewer Tap Approval	A copy of an approved Environmental Health signed site plan approval (Call 386.758.1058) or an approved City of Lake City (Call 386.752.2031) sewer tap letter is required before building permit can be issued. <b>Toilet facilities shall be provided for construction workers.</b>			
145	Driveway Connection	A right-of-way application must be application must be applied for with all new structures. If drive is confirmed to be existing, a fee may not be applied. If it is determined a connection is necessary, the fee is \$150.00. If the project is to be located on an FDOT maintained road, then an FDOT access permit is required. Use or joint use of driveways will comply with Florida Department of Transportation specifications. If the project is to be located on an FDOT maintained road, then an FDOT access permit is required.			
146	Suwannee River Water Management District Approval	All commercial projects must have an SRWMD permit issued or an exemption letter, before a building permit will be issued.			
147	Flood Management	All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100-year flood) <b>has been</b> established shall meet the requirements of section 8.8 of the Columbia County Land Development Regulations. Any project that is located within a flood zone where the base flood elevation (100-year flood) <b>has not been</b> established shall meet the requirements of section 8.7 of Columbia County Land Development Regulations. A development permit will also be required. <b>The development permit cost is \$50.00.</b>			
148	Flood Management	A CERTIFIED FINISHED FLOOR ELEVATION WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED OR IT HAS BEEN DETERMINED BY THE PLAT.			
149	911 Address	An application for a 911 address must be applied for and received through the Columbia County 911 Addressing Department by applying online @ <a href="https://www.columbiacountyfla.com/PermitSearch/AddressingApplication.aspx">https://www.columbiacountyfla.com/PermitSearch/AddressingApplication.aspx</a>			

Section 105 of the Florida Building Code defines the:

**Section 105.3.2 - Time limitation of application**

Pursuant to Chapter 1, Section 101.2 of the Florida Building Code: An application for a permit shall be abandoned 180 days after its filing unless the application is pursued in good faith or a permit has been issued. The building official may grant extensions of up to 90 days each, upon written request with justifiable cause.

**Section 105.4.1 - Permit Intent**

Pursuant to Chapter 1, Section 101.2 of the Florida Building Code: A permit issued is not an authorization to violate, alter, or bypass any provisions of the technical codes. It does not prevent the building official from requiring corrections to plans, construction, or code violations. A permit becomes invalid unless work is commenced within six months after issuance, or if work is suspended or abandoned for six months after commencement.

**Section 105.4.1.1 - Permit Revocation and Reissuance**

If work has commenced and the permit is revoked, becomes null and void, or expires due to lack of progress or abandonment, a new permit must be obtained before proceeding.

**Section 105.4.1.2 - Permit Expiration**

If a new permit is not obtained within 180 days after the original permit becomes null and void, the building official may require the removal of any work commenced or completed. Alternatively, a new permit may be issued if the existing work complies with applicable regulations at the time of permit expiration and those effective between expiration and reissuance.

**Section 105.4.1.3 - Active Progress**

Work is considered active when an approved inspection occurs within 180 days. This requirement does not apply if work is halted due to civil commotion, strike, judicial injunction, or similar processes.

**Section 105.4.1.4 - Renewal/Extension Fees**

The fee for permit renewal, reissuance, or extension shall be set by the administrative authority.

**Building Permit Notification**

Once your application is approved, you will receive an email from the Columbia County Building & Zoning Department informing you that your building permit is ready to be issued upon payment.

**Ordinance Sec. 90-75 – Construction Debris**

It is unlawful to dispose of solid waste, including construction or demolition debris, except at authorized disposal sites or the county's waste facilities. Temporary storage of construction or demolition debris on-site for up to seven days is allowed, pending lawful disposal. However, debris must be removed before a certificate of occupancy is issued. The burning of construction debris or vegetative trash is allowed if done in compliance with legal permits and regulations. Disposal of solid waste, special waste, or debris in public streets, right-of-ways, or other public areas is prohibited, and no burial of vegetative trash is allowed on public property under 10 acres.

# Subcontractor Verification Form

APPLICATION/PERMIT # \_\_\_\_\_ JOB NAME \_\_\_\_\_

## THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the General Contractor's permit.

**NOTE:** It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

**NOTE:** If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

ELECTRICAL

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner ☐  
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_

MECHANICAL / A/C

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner ☐  
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_

PLUMBING / GAS

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner ☐  
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_

ROOFING

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner ☐  
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_

FIRE SYSTEM /  
SPRINKLER

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner ☐  
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_

SOLAR

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner ☐  
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_

STATE SPECIALTY

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner ☐  
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_



# **NOTICE TO APPLICANT/OWNER REGARDING FLOODING**

**Please read carefully before you begin your construction project!**

**WARNING:** The degree of flood protection required by County's floodplain ordinance and the Florida Building Code are considered as minimum regulatory purposes only. The floodplain ordinance and Florida Building Code are based on scientific and engineering considerations, but do not include actual, observed events of flooding that may have occurred at your property. You should also keep in mind that larger floods have, can, and will occur from time to time. Flood heights may be increased by man-made or natural causes. Approval of your permit under the floodplain ordinance does not imply that the permitted structure will be free from flooding or flood damage. The Special Flood Hazard Areas and Base Flood elevations are contained in the Flood Insurance Study and shown on Flood Insurance Rate Maps. The County adopts these maps for purposes of compliance with the National Flood Insurance Program, but makes no representations or assurances of their accuracy or reliability. The County does not maintain, track, or provide flood history data for any particular parcel of land.

**THERE IS NO GUARANTY OF VESTED USE, EXISTING USE, OR FUTURE USE CREATED BY YOUR COMPLIANCE WITH THE FLOODPLAIN ORDINANCE. YOU ARE RESPONSIBLE FOR ASSESSING YOUR OWN PARTICULAR FLOOD RISK AND YOU ARE ENCOURAGED TO SPEAK WITH NEIGHBORING OWNERS AND THE PREVIOUS OWNERS OF YOUR LAND TO OBTAIN FIRST-HAND KNOWLEDGE OF YOUR PROPERTY'S SPECIFIC FLOOD HISTORY.**

**DISCLAIMER OF LIABILITY.** The County floodplain ordinance does not create liability on the part of Board of County Commissioners of Columbia County or any officer or employee thereof for any flood damage that results from reliance on the ordinance, or any administrative decision lawfully made thereunder. Again, it is your responsibility to assess your property's flood risk and build accordingly.

**For more information,** see the Columbia County Code of Ordinances, Land Development Regulations, Article 8, at: [https://library.municode.com/fl/columbia\\_county](https://library.municode.com/fl/columbia_county). Additional information can also be found on the County Building Department's web page: <https://www.columbiacountyfla.com/BuildingandZoning.asp>.

## **ACKNOWLEDGEMENT**

I have read and understand the foregoing **NOTICE TO APPLICANT/OWNER REGARDING FLOOD ZONES**. I understand it is my responsibility to determine my property's flood risk, and that the County has made me no assurances that my property can not or will not flood.

**OWNER SIGNATURE:** \_\_\_\_\_

**PRINT NAME:** \_\_\_\_\_

**PARCEL # OR ADDRESS:** \_\_\_\_\_

# Product Approval Code Specifications

As required by Florida Statute 553.842 and Florida Administrative Code 8B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ [www.floridabuilding.org](http://www.floridabuilding.org) **\*Paper form not required if online submittal for roofs ONLY**

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>1.Exterior Doors</b>			
A. Swinging			
B. Sliding			
C. Sectional/Roll Up			
D. Other			
<b>2. Windows</b>			
A. Single/Double Hung			
B. Horizontal Slider			
C. Casement			
D. Fixed			
E. Mullion			
F. Skylights			
G. Other			
<b>3. Panel Walls</b>			
A. Siding			
B. Soffits			
C. Storefronts			
D. Glass Block			
E. Other			
<b>4. Roofing Products</b>			
A. Asphalt Shingles			
B. Non-Struct Metal			
C. Roofing Tiles			
D. Single Ply Roof			
E. Other			
<b>5. Struct Componenets</b>			
A. Wood Connectors			
B. Wood Anchors			
C. Truss Plates			
D. Insulation Forms			
E. Lintels			
F. Others			
<b>6. New Exterior</b>			
A. Envelope Products			

# **ROOFING UNDERLAYMENT AFFIDAVIT**

Columbia County, Florida  
Building Department  
135 NE Hernando Avenue  
Lake City, Florida 32055  
Phone: 386-758-1008

## **REQUIRED FOR WALK-IN OR PAPER SUBMITTALS**

[www.columbiacountyfla.com](http://www.columbiacountyfla.com)

**Job Address:** \_\_\_\_\_

I (Print Name) \_\_\_\_\_, as a Florida license Roofing Contractor or an Owner Builder, I understand to comply with the 2023 Florida Building Code 8th Edition underlayment requirements, I must select an option for sealing the roof deck.

The options are summarized below...

☐ A self-adhering polymer-modified bitumen underlayment complying with ASTM D1970 applied over the entire roof.

☐ A minimum 4-inch-wide strip of self-adhering polymer-modified bitumen complying with ASTM D1970 or a minimum 3 <sup>3</sup>/<sub>4</sub> - wide strip of self-adhering flexible flashing tape complying with AAMA 711, applied over all joints in the roof decking. A felt underlayment complying with ASTM D226 Type II, ASTM D4869 Type III or IV, or ASTM D6757, or a synthetic underlayment meeting the performance requirements specified, is required to be applied over the strips/tape over the entire roof.

☐ Two layers of felt underlayment comply with ASTM D226 Type II or ASTM D4869 Type III or IV, or two layers of a synthetic underlayment meeting the performance requirements specified, lapped and fastened as specified.

☐ Other (explain) \_\_\_\_\_

Contractor/Owners Signature \_\_\_\_\_

**FINAL INSPECTION & CERTIFICATE OF COMPLETION:** This completed form and photographs must be uploaded to your permit via online at the Application Submission login (link) [Welcome to Columbia County Online \(columbiacountyfla.com\)](http://Welcome to Columbia County Online (columbiacountyfla.com)).

**If for a roofing permit, clearly visible in the Photographs must be the permit number or address and must include a ruler or measuring device to confirm nail spacing and overlaps including drip edge and valley flashing. (Not required for additions or New Residential)**

**Published 10/2025**

Recording Stamp



TAX ID/PARCEL #:

## NOTICE OF COMMENCEMENT

**THE UNDERSIGNED** hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT**.

1. **Description of property (legal description):** \_\_\_\_\_  
a. Street (job) Address: \_\_\_\_\_
2. **General description of improvements:** \_\_\_\_\_
3. **Owner Information or Lessee information if the Lessee contracted for the improvements**  
a. Name and Address: \_\_\_\_\_  
b. Name and Address of fee simple titleholder (if other than owner): \_\_\_\_\_  
c. Interest in property: \_\_\_\_\_
4. **Contractor Information**  
a. Name and Address: \_\_\_\_\_  
b. Telephone #: \_\_\_\_\_
5. **Surety Information (if applicable, a copy of the payment bond is attached)**  
a. Name and Address: \_\_\_\_\_  
b. Amount of Bond: \_\_\_\_\_  
c. Telephone #: \_\_\_\_\_
6. **Lender**  
a. Name and Address: \_\_\_\_\_  
b. Telephone #: \_\_\_\_\_
7. **Person within the State of Florida designated by Owner upon whom notices, or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes**  
a. Name and Address: \_\_\_\_\_  
b. Telephone #: \_\_\_\_\_
8. **In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes**  
a. Name: \_\_\_\_\_  
b. Telephone #: \_\_\_\_\_
9. **Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified):** \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE SITE OF THE IMPROVEMENT BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

**STATE OF FLORIDA  
COLUMBIA COUNTY**

\_\_\_\_\_  
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager

\_\_\_\_\_  
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me by means of ☐ physical presence or sworn to (or affirmed) by ☐ online notarization \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, by \_\_\_\_\_  
as \_\_\_\_\_ for \_\_\_\_\_  
DATE MONTH YEAR NAME OF PERSON  
TYPE OF AUTHORITY - OFFICER, TRUSTEE, ATTORNEY IN FACT NAME OF PART ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

Personally Known \_\_\_\_\_ OR Produced Identification \_\_\_\_\_ Type of ID Produced \_\_\_\_\_  
SEAL/STAMP: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE OF NOTARY PUBLIC - STATE OF FLORIDA

\_\_\_\_\_  
PRINT, TYPE, OR STAMP COMMISSIONED NAME OF NOTARY PUBLIC

**Published 10/2025**

# **OWNER BUILDER DISCLOSURE STATEMENT**

(Initial each section and sign)

Columbia County, Florida  
Building Department  
135 NE Hernando Avenue  
Lake City, Florida 32055  
Phone: 386-758-1008

## **Florida Statutes Chapter 489.103:**

[www.columbiacountyfla.com](http://www.columbiacountyfla.com)

\_\_\_\_\_ 1. I understand that state law requires construction to be done by a **licensed contractor** and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

\_\_\_\_\_ 2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a **licensed contractor** to assume responsibility.

\_\_\_\_\_ 3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from **potential financial risk** by hiring a **licensed contractor** and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.

\_\_\_\_\_ 4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence **must be for my own use or occupancy**. It may not be built or substantially improved for sale or lease, unless I am completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

\_\_\_\_\_ 5. I understand that, as the owner-builder, I must provide **direct, onsite supervision** of the construction.

\_\_\_\_\_ 6. I understand that I **may not hire an unlicensed person** to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the **licenses required by law** and by county or municipal ordinance.



\_\_\_\_\_ 7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, **may be held liable** and subjected to **serious financial risk** for any injuries sustained by an unlicensed person on his or her employees while working on my property. My **homeowner's insurance may not provide coverage** for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

\_\_\_\_\_ 8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I **must comply with laws requiring the withholding of federal income tax and social security contributions** under the Federal Insurance Contributions Act (FICA) and **must provide workers' compensation** for the employee. I understand that my **failure to follow these laws may subject me to serious financial risk**.

\_\_\_\_\_ 9. I agree that, as the party legally and financially responsible for this proceed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employees. I also understand that the construction **must comply with all applicable laws, ordinances, building codes, and zoning regulations**.

\_\_\_\_\_ 10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may **contact the Florida Construction Industry Licensing Board** at 850-487-1395 or <http://www.myfloridalicense.com/> for more information about licensed contractors.

\_\_\_\_\_ 11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that **I am the party legally and financially responsible** for the proposed construction activity at the following address:

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(Address of jobsite property)

\_\_\_\_\_ 12. I agree to **notify Columbia County Building Department** immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. **Licensed contractors are regulated** by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be **unable to assist you with any financial loss** that you sustain as a result of complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held **liable for damages**. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for **verifying whether the contractor is properly licensed** and the status of the contractor's workers' compensation coverage.

**Florida Statutes Chapter 489.103:**

\_\_\_\_\_ 13. State law requires electrical contracting to be done by **licensed electrical contractors**. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own electrical contractor even though you do not have a license. You may install electrical wiring for a farm outbuilding or a single-family or duplex residence. You may install electrical wiring in a commercial building the aggregate construction costs of which are under \$75,000. The home or building must be for your own use and occupancy. It **may not be built for sale or lease**, unless you are completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If you sell or lease more than one building you have wired yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You **may not hire an unlicensed person** as your electrical contractor. Your construction shall be done according to **building codes and zoning regulations**. It is your responsibility to make sure that people employes by you have **licenses required by state law** and by county or municipal licensing ordinances.

\_\_\_\_\_ 14. An owner of property completing the requirements of a building permit, where the contractor listed on the permit **substantially completed the project** as determined by the local permitting agency, for a one-family or two-family residence, townhome, accessory structure of a one-family or two-family residence or townhome or individual residential condominium unit or cooperative unit. Prior to the owner qualifying for the exemption, the owner must receive approval from the local permitting agency, and the local permitting agency must determine that the contractor substantially completed the project. An owner who qualifies for the exemption under this paragraph is **not required to occupy** the dwelling or unit for at least 1 year after the completion of the project.

Before a building permit shall be issued, this notarized disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit.

**TYPE OF CONSTRUCTION**

\_\_\_\_ *Single Family Dwelling*      \_\_\_\_ *Two-Family Residence/Duplex*

\_\_\_\_ *Addition / Alteration / Modification*      \_\_\_\_ *Electrical*

\_\_\_\_ *Contractor substantially complete project of a* \_\_\_\_\_

\_\_\_\_ *Commercial -*

**Cost of Construction** \_\_\_\_\_ *for construction of* \_\_\_\_\_

I \_\_\_\_\_, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Department.

Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**NOTARY OF OWNER BUILDER SIGNATURE**

**STATE OF** \_\_\_\_\_

**COUNTY** \_\_\_\_\_

The foregoing instrument acknowledged before me by means of ( ) physical presence or ( ) online notarization, this \_\_\_\_ day \_\_\_\_\_ of 20\_\_\_\_, by \_\_\_\_\_, who is ( ) personally known to me or ( ) has provided the following identification: \_\_\_\_\_

(Seal)

\_\_\_\_\_  
Notary Public Signature

\_\_\_\_\_  
Notary Printed Name