

# COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave, Suite B-21, Lake City, FL 32055

Phone: 386-758-1008 Fax: 386-758-2160

bldginfo@columbiacountyfla.com

Scan QR code to submit online.

(On next page)

## New Commercial Construction Application Checklist

- 2nd pg of Permit Application with PROPERTY OWNER'S Signature & Notarized Contractor Signature - The deeded property owner must sign page 2 of Application
- Subcontractors Verification Form, signed by the license holder/contractor or authorized Qualifier for each trade
- License Holders (Contractors) must complete a "Letter of Authorization" for who is authorized to pull the permit on their behalf
- If an Owner Builder, Notarized Owner Disclosure Statement is required
- Proof of ownership by way of Recorded Deed or Property Appraiser's parcel details printout-- visit <https://search.ccpafl.com/>
- Corporation or Trust Details listing authorized signor(s) and POA forms if necessary
- 911 Address applications or verifications are submitted/found online. Visit <https://www.columbiacountyfla.com/BuildingandZoning.asp>
- Commercial Checklist completed including Product Approval Code Specifications Sheet
- Site Plan:** FOLLOW THE SITE PLAN CHECKLIST, included in this packet.
- Recorded Notice of Commencement; before 1st inspection
- For hard copy apps: 2 sets of plans folded to 9x12 size with Signed & Sealed Engineering; For online apps: 1 set of Engineered plans digitally sealed (verifiable)
- For hard copy apps: 2 sets of Truss Engineering Signed & Sealed; For online apps: 1 set of Truss Engineering digitally sealed (verifiable)
- For hard copy apps: 2 sets of Energy Codes & Manual J Forms; For online apps: 1 set of Energy Codes & Manual J Forms
- Provide any other pertinent information we should know: Development Permits/Zoning Applications, if applicable
- Approved and Signed Site Plan from Environmental Health for septic; contact 386.758.1058
- If on City Water or Sewer, City Availability Letter required. If on the Ellisville Water System; contact 386.719.7565 for review
- Any other necessary documents requested (Floodplain Notice to Owner, etc...)
- Right-of-Way Connection:** If no record of a driveway exists, a right-of-way application will be needed. If an existing drive exists, make the 'verify existing drive' selection. If drive is verified as existing, no fee assessed. If there is no existing drive, Public Works will determine what is needed and a fee of \$150 will be assessed. If the property is accessed from a state maintained road, then an approval for FDOT must be received before a permit will be issued.
- NO RELEASE OF FINAL POWER** will be given until driveway access is complete and given final approval.



# Columbia County, Florida New Commercial Permit Application



\*\*Scan QR Code to  
complete application online.

**For Office Use Only:** Application # \_\_\_\_\_

Permit # \_\_\_\_\_

Comments/Notes \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**\*This page not required for Online submissions.**

Septic Permit No. \_\_\_\_\_ OR  City Water

Applicant \_\_\_\_\_ Phone # \_\_\_\_\_  
(person applying, not owner)

Applicant Address \_\_\_\_\_

Contact Email (updates sent here) \_\_\_\_\_

Owners Name \_\_\_\_\_ Phone # \_\_\_\_\_

Job Site Address \_\_\_\_\_

Contractors Name \_\_\_\_\_ Phone # \_\_\_\_\_

Contractors Address \_\_\_\_\_

Contractors Email \_\_\_\_\_

Architect/Engineer Name & AR/PE # \_\_\_\_\_

Architect Address \_\_\_\_\_

Power Company -  FI Power & Light -  Clay Electric -  Suwannee Valley -  Duke Energy

Parcel # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ Estimated Cost of Construction \_\_\_\_\_

Construction of \_\_\_\_\_  Commercial

Proposed Use/Occupancy \_\_\_\_\_ # of Existing Dwellings on Property \_\_\_\_\_

Is the Building Fire Sprinkled?  YES  NO If YES, blueprints included

OR Explain \_\_\_\_\_

Have Existing Drive  Need a Right-of-way Permit  Right-of-way Permit # \_\_\_\_\_

\*\*\*Please be advised all New Commercial applications may prompt a right-of-way permit regardless of existing/private driveway\*\*\*

Actual Distance of Structure from Property Lines -

Front \_\_\_\_\_ Side \_\_\_\_\_ Side \_\_\_\_\_ Rear \_\_\_\_\_

\*\*\*Please be advised you will still need to provide a site plan drawing along with filling in the above section\*\*\*

Number of Stories \_\_\_\_\_ Heated Floor Area \_\_\_\_\_ Total Floor Area \_\_\_\_\_ Acreage \_\_\_\_\_

Zoning Applications Applied for (Site & Development, Special Exception, etc.)  
\_\_\_\_\_  
\_\_\_\_\_

# Columbia County Permit Application - Owner and Contractor Signature Page

CODES: 2023 Florida Building Code 8th Edition and the 2020 National Electrical Code

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**TIME LIMITATIONS OF APPLICATION:** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW - Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT:** YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.**

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Digital signatures accepted, with proof of verification.)

\*\*Property owners must sign here before any permit will be issued.

Printed Owners Name

Owners Signature

**CONTRACTORS AFFIDAVIT:** By my signature, I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractors License Number

Printed Contractors Name

Contractors Signature

Notary Public's Signature (For the Contractor)

Notary Seal:

Affirmed and subscribed before me the Contractor by means of physical presence  or online notarization  , this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_, who is personally known  or produced ID  \_\_\_\_\_.

Only Pg 2 Required for  
Online Submittals

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Published 10/2025



# HOW TO APPLY FOR A 911 ADDRESS

Applications must be submitted online using the link below.

[www.columbiacountyfla.com/PermitSearch/AddressingApplication.aspx](http://www.columbiacountyfla.com/PermitSearch/AddressingApplication.aspx)

Please be prepared to upload a site plan similar to the one below.

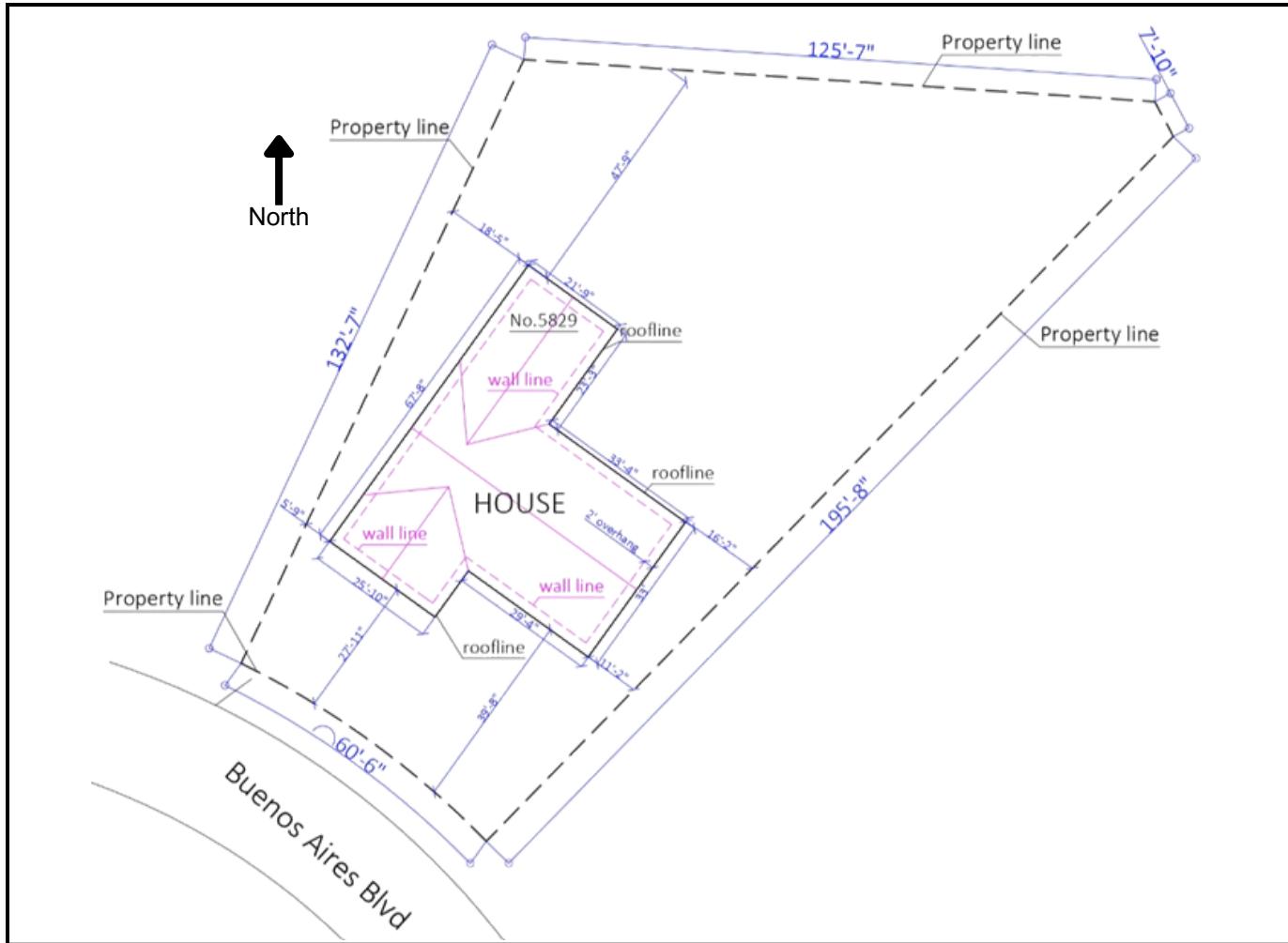
## SITE PLAN CHECKLIST:

- 1) Property Dimensions
- 2) Footprint of proposed and existing structures (including decks, label these with existing addresses)
- 3) Distance from structures to all property lines
- 4) Location and size of easements
- 5) Driveway path and distance from any waters; sink holes; wetlands; and etc.
- 6) Location and distance from any waters; sink holes; wetlands; and etc.
- 7) Show slopes and/or drainage paths
- 8) Arrow showing North direction



Scan QR Code to  
make application

**\*\*If applying for a building permit, please use the same site plan for the 911 Address Application.**



Please note that it can take up to 14 business days for your application to be processed

Published 10/2025



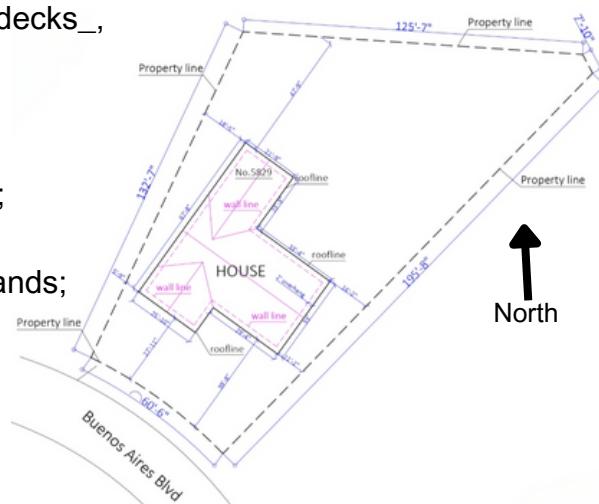
# PROPOSED SITE PLAN



## **SITE PLAN CHECKLIST:**

- 1) Property Dimensions
- 2) Footprint of proposed and existing structures (including decks\_),  
label these with existing addresses
- 3) Distance from structures to all property lines
- 4) Location and size of easements
- 5) Driveway path and distance from any waters; sink holes;  
wetlands; and etc.
- 6) Location and distance from any waters; sink holes; wetlands;  
and etc.
- 7) Show slopes and/or drainage paths
- 8) Arrow showing North direction

## **SITE PLAN EXAMPLE**



# COLUMBIA COUNTY BUILDING DEPARTMENT

## COMMERCIAL CHECKLIST

### MINIMUM PLAN REQUIREMENTS:

FLORIDA BUILDING CODE 2023, NATIONAL ELECTRIC CODE 2020, FLORIDA PLUMBING CODE, FLORIDA MECHANICAL CODE, AND GAS CODE 2023

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT FLORIDA BUILDING CODES. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION.

FOR DESIGN PURPOSES, THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609.3(1) THROUGH 1609.3(4) ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES.

JOB SITE ADDRESS:

APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL													
GENERAL REQUIREMENTS													
1	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void										YES	NO	N/A
2	If the design professional is an architect or engineer legally registered under the laws of this state regulating the practice of architecture as provided for in Chapter 481, Florida Statutes, Part I, or engineering as provided in Chapter 471, Florida Statutes, then he or she shall affix his or her official seal to said drawings, specifications and accompanying data, as required by Florida Statute												
3	The design professional signature shall be affixed to the plans												
4	Two (2) complete sets of plans, One (1) if digitally sealed, with the architecture or engineer signature and the date the affixed embossed symbol was placed on the plans.												
BUILDING SITE PLAN REQUIREMENTS													
5	Parking, including provision Florida Building Code Accessibility Code												
6	Fire access, showing all driveways that are accessible for emergency vehicles												
7	Driving/turning radius of parking lots												
8	Vehicle loading include truck dock loading or rail site loading												
9	Nearest or number of onsite Fire hydrant/water supply/post indicator valve (PIV)												
10	Setback of all existing or proposed structures from each structure and property boundaries, Show all separation including assumed property lines												
11	Location of specific tanks (above or under ground water lines and sewer lines and septic tank and drain fields)												
12	All structures exterior views include finished floor elevation												
13	Total height of structure(s) from established grade												
REVIEW REQUIRED BY THE COLUMBIA COUNTY FIRE DEPARTMENT ITEMS 15 - 45 (WE CONTACT THE FIRE DEPARTMENT FOR YOU)													
14. Occupancy group use (select all uses)	Group A (Assembly) <input type="checkbox"/>	Group B (Office) <input type="checkbox"/>	Group E (Educational) <input type="checkbox"/>	Group F (Factory) <input type="checkbox"/>	Group H (Hospital) <input type="checkbox"/>	Group I (Institutional) <input type="checkbox"/>	Group M (Manufacturing) <input type="checkbox"/>	Group R (Retail) <input type="checkbox"/>	Group S (Storage) <input type="checkbox"/>	Group U D (Uses not elsewhere specified, Dormitory) <input type="checkbox"/>			
15	Special occupancy requirements												
16	Incidental use areas (total square footage for each room of use area)												
17	Mixed occupancies												
18	REQUIRED SEPARATION OF OCCUPANCIES IN HOURS FBC TABLE 707.3.10												

**MINIMUM TYPE OF PERMITTED CONSTRUCTION BY CODE FOR OCCUPANCY USE**  
**(circle the construction type FBC 602)**

19	Type I (FBC: 602.2) <input type="checkbox"/>	Type II (FBC: 602.2) <input type="checkbox"/>	Type III (FBC: 602.3) <input type="checkbox"/>	Type IV (FBC: 602.4) <input type="checkbox"/>	Type V (FBC: 602.5) <input type="checkbox"/>
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**FIRE-RESISTENT CONSTRUCTION REQUIREMENTS**

	YES	NO	N/A
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20	Fire-resistant separations			
21	Fire-resistant protection for type of construction			
22	Protection of openings and penetrations of rated walls			
23	Protection of corridors and penetrations of rated walls			
24	Fire blocking and draft stopping and calculated fire resistance			

**FIRE SUPPRESSION SYSTEMS**

25	Early warning smoke evacuation systems Schematic fire sprinklers Standpipes			
26	Standpipes			
27	Pre-engineered systems			
28	Riser diagram			

**LIFE SAFETY SYSTEMS**

29	Occupant load and egress capacities			
30	Early Warning			
31	Smoke Control			
32	Stair Pressurization			
33	Systems Schematic			

**OCCUPANCY LOAD/EGRESS REQUIREMENTS**

34	Occupancy load			
35	Gross occupancy load			
36	Net occupancy load			
37	Means of egress			
38	Exit access			
39	Exit discharge			
40	Stairs construction/geometry and protection			
41	Doors			
42	Emergency lighting and exit signs			
43	Specific occupancy requirements			
44	Construction requirements			
45	Horizontal exits/exit passageways			

**STRUCTURAL REQUIREMENTS**

46	Solid conditions/analysis			
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### STRUCTURAL REQUIREMENTS (CONT'D)

		YES	NO	N/A
47	Termite Protection			
48	Design Loads			
49	Wind Requirements			
50	Building Envelope			
51	Structural Calculations (if required)			
52	Foundation for structures with foundation which establish new electrical utility companies service connection, a Concrete Encased Electrode will be required per the National Electrical Code article 250.52.3			
53	Wall Systems			
54	Floor Systems			
55	Roof Systems			
56	Threshold Inspection Plan			
57	Stair Systems			

### MATERIALS

58	Wood			
59	Steel			
60	Aluminum			
61	Concrete			
62	Plastic			
63	Glass			
64	Masonry			
65	Gypsum Board and Plaster			
66	Insulating (mechanical)			
67	Roofing			
68	Insulation			

### ACCESSIBILITY REQUIREMENTS

69	Site Requirements			
70	Accessible Route			
71	Vertical Accessibility			
72	Toilet and Bathing Facilities			
73	Drinking Fountains			
74	Equipment			
75	Special Occupancy Requirements			
76	Fair Housing Requirements			

**REVIEW REQUIRED BY THE COLUMBIA COUNTY FIRE DEPARTMENT ITEMS 77 - 82  
(WE CONTACT THE FIRE DEPARTMENT FOR YOU)  
INTERIOR REQUIREMENTS SHALL INCLUDE THE FOLLOWING:**

		YES	NO	N/A
77	Interior Finishes (flame spread/smoke development)			
78	Light and Ventilation			
79	Sanitation			
<b>SPECIAL SYSTEMS</b>				
80	Elevators			
81	Escalators			
82	Lifts			
<b>SWIMMING POOLS</b>				
83	Barrier Requirements			
84	Spas and Wading Pools			
85	Access required per Florida Building Code 454.1.2.5			
<b>ELECTRICAL</b>				
86	Wiring			
87	Services for structures with foundation which establish new electrical utility companies service connection, a Concrete Encased Electrode will be required within the foundation to serve as a grounding electrode system per the National Electrical Code article 250.52.3			
88	Feeders and Branch Circuits			
89	Overcurrent Protection			
90	Grounding			
91	Wiring Methods and Materials			
92	GFCIs			
93	Equipment			
94	Special Occupancies			
95	Emergency Systems			
96	Communication Systems			
97	Low Voltage			
98	Load Calculations			
<b>PLUMBING</b>				
99	Minimum Plumbing Facilities			
100	Fixture Requirements			
101	Water Supply Piping			
102	Sanitary Drainage			
103	Water Heaters			
104	Vents			

**PLUMBING (CONT'D)**

		YES	NO	N/A
105	Roof Drainage			
106	Back Flow Prevention			
107	Irrigation			
108	Location of Water Supply Line			
109	Grease Traps			
110	Environmental Requirements			
111	Plumbing Riser			

**MECHANICAL**  
**REVIEW REQUIRED BY THE COLUMBIA COUNTY FIRE DEPARTMENT ITEMS 113 - 116**  
**(WE CONTACT THE FIRE DEPARTMENT FOR YOU)**

112	Energy Calculations			
113	Exhaust Systems			
114	Clothes Dryer Exhaust			
115	Kitchen Equipment Exhaust			
116	Specialty Exhaust Systems			

**EQUIPMENT LOCATION**

117	Make-up Air			
118	Roof-mounted Equipment			
119	Duct Systems			
120	Ventilation			
121	Laboratory			
122	Combustion Air			
123	Chimneys, Fireplaces, and Vents			
124	Appliances			
125	Boilers			
126	Refrigeration			
127	Bathroom Ventilation			

**GAS**  
**REVIEW REQUIRED BY THE COLUMBIA COUNTY FIRE DEPARTMENT ITEMS 128 - 136**  
**(WE CONTACT THE FIRE DEPARTMENT FOR YOU)**

128	Gas Piping			
129	Venting			
130	Combustion Air			
131	Chimneys and Vents			
132	Appliances			
133	Type of Gas			
134	Fireplaces			

### GAS (CONT'D)

		YES	NO	N/A
135	LP Tank Location			
136	Riser Diagram/Shutoffs			

### NOTICE OF COMMENCEMENT

137	A recorded (in Columbia County Clerks Office) Notice of Commencement is required to be on file with the building department <b>before any inspections will be granted</b>			
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### DISCLOSURE STATEMENT FOR OWNER BUILDERS

138	An Owner Builder Disclosure Statement must be on file prior to issuance of any permit to an Owner Builder - Owner Builders can pull their own permit for any project up the estimated cost of \$75,000			
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### PRIVATE POTABLE WATER

139	Horse Power of Pump Motor			
140	Capacity of Pressure Tank			
141	Cycle Stop Valve if Used			

### THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

142	<b>Building Permit Application</b>	A Building Permit Application is to be completed by following the checklist all supporting documents must be submitted. Completed applications can be brought in to the office or applied for online @ <a href="https://www.columbiacountyfla.com/PermitSearch/MyBNZPortalLogin.aspx">https://www.columbiacountyfla.com/PermitSearch/MyBNZPortalLogin.aspx</a>		
143	<b>Parcel Number</b>	The parcel number (Tax ID number) from the Property Appraiser is required. A copy of property deed is also required. Call 386.758.1083		
144	<b>Environmental Health Permit or Sewer Tap Approval</b>	A copy of an approved Environmental Health signed site plan approval (Call 386.758.1058) or an approved City of Lake City (Call 386.752.2031) sewer tap letter is required before building permit can be issued. <b>Toilet facilities shall be provided for construction workers.</b>		
145	<b>Driveway Connection</b>	A right-of-way application must be applied for with all new structures. If drive is confirmed to be existing, a fee may not be applied. If it is determined a connection is necessary, the fee is \$150.00. If the project is to be located on an FDOT maintained road, then an FDOT access permit is required. Use or joint use of driveways will comply with Florida Department of Transportation specifications. If the project is to be located on an FDOT maintained road, then an FDOT access permit is required.		
146	<b>Suwannee River Water Management District Approval</b>	All commercial projects must have an SRWMD permit issued or an exemption letter, before a building permit will be issued.		
147	<b>Flood Management</b>	All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100-year flood) <b>has been</b> established shall meet the requirements of section 8.8 of the Columbia County Land Development Regulations. Any project that is located within a flood zone where the base flood elevation (100-year flood) <b>has not been</b> established shall meet the requirements of section 8.7 of Columbia County Land Development Regulations. A development permit will also be required. <b>The development permit cost is \$50.00.</b>		
148	<b>Flood Management</b>	A CERTIFIED FINISHED FLOOR ELEVATION WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED OR IT HAS BEEN DETERMINED BY THE PLAT.		
149	<b>911 Address</b>	An application for a 911 address must be applied for and received through the Columbia County 911 Addressing Department by applying online @ <a href="https://www.columbiacountyfla.com/PermitSearch/AddressingApplication.aspx">https://www.columbiacountyfla.com/PermitSearch/AddressingApplication.aspx</a>		

Section 105 of the Florida Building Code defines the:

#### Section 105.3.2 - Time limitation of application

Pursuant to Chapter 1, Section 101.2 of the Florida Building Code: An application for a permit shall be abandoned 180 days after its filing unless the application is pursued in good faith or a permit has been issued. The building official may grant extensions of up to 90 days each, upon written request with justifiable cause.

#### Section 105.4.1 - Permit Intent

Pursuant to Chapter 1, Section 101.2 of the Florida Building Code: A permit issued is not an authorization to violate, alter, or bypass any provisions of the technical codes. It does not prevent the building official from requiring corrections to plans, construction, or code violations. A permit becomes invalid unless work is commenced within six months after issuance, or if work is suspended or abandoned for six month after commencement.

#### Section 105.4.1.1 - Permit Revocation and Reissuance

If work has commenced and the permit is revoked, becomes null and void, or expires due to lack of progress or abandonment, a new permit must be obtained before proceeding.

#### Section 105.4.1.2 - Permit Expiration

If a new permit is not obtained within 180 days after the original permit becomes null and void, the building official may require the removal of any work commenced or completed. Alternatively, a new permit may be issued if the existing work complies with applicable regulations at the time of permit expiration and those effective between expiration and reissuance.

#### Section 105.4.1.3 - Active Progress

Work is considered active when an approved inspection occurs within 180 days. This requirement does not apply if work is halted due to civil commotion, strike, judicial injunction, or similar processes.

#### Section 105.4.1.4 - Renewal/Extension Fees

The fee for permit renewal, reissuance, or extension shall be set by the administrative authority.

#### Building Permit Notification

Once your application is approved, you will receive an email from the Columbia County Building & Zoning Department informing you that your building permit is ready to be issued upon payment.

#### Ordinance Sec. 90-75 – Construction Debris

It is unlawful to dispose of solid waste, including construction or demolition debris, except at authorized disposal sites or the county's waste facilities. Temporary storage of construction or demolition debris on-site for up to seven days is allowed, pending lawful disposal. However, debris must be removed before a certificate of occupancy is issued. The burning of construction debris or vegetative trash is allowed if done in compliance with legal permits and regulations. Disposal of solid waste, special waste, or debris in public streets, right-of-ways, or other public areas is prohibited, and no burial of vegetative trash is allowed on public property under 10 acres.

# Subcontractor Verification Form

APPLICATION/PERMIT # \_\_\_\_\_ JOB NAME \_\_\_\_\_

**THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED**

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the General Contractor's permit.

**NOTE:** *It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.*

**NOTE:** If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

## ELECTRICAL

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner   
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_

## MECHANICAL / A/C

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner   
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_

## PLUMBING / GAS

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner   
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_

## ROOFING

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner   
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_

## FIRE SYSTEM / SPRINKLER

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner   
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_

## SOLAR

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner   
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_

## STATE SPECIALTY

Printed Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Owner   
License #: \_\_\_\_\_ Phone #: \_\_\_\_\_

# **NOTICE TO APPLICANT/OWNER REGARDING FLOODING**

**Please read carefully before you begin your construction project!**

**WARNING:** The degree of flood protection required by County's floodplain ordinance and the Florida Building Code are considered as minimum regulatory purposes only. The floodplain ordinance and Florida Building Code are based on scientific and engineering considerations, but do not include actual, observed events of flooding that may have occurred at your property. You should also keep in mind that larger floods have, can, and will occur from time to time. Flood heights may be increased by man-made or natural causes. Approval of your permit under the floodplain ordinance does not imply that the permitted structure will be free from flooding or flood damage. The Special Flood Hazard Areas and Base Flood elevations are contained in the Flood Insurance Study and shown on Flood Insurance Rate Maps. The County adopts these maps for purposes of compliance with the National Flood Insurance Program, but makes no representations or assurances of their accuracy or reliability. The County does not maintain, track, or provide flood history data for any particular parcel of land.

**THERE IS NO GUARANTY OF VESTED USE, EXISTING USE, OR FUTURE USE CREATED BY YOUR COMPLIANCE WITH THE FLOODPLAIN ORDINANCE. YOU ARE RESPONSIBLE FOR ASSESSING YOUR OWN PARTICULAR FLOOD RISK AND YOU ARE ENCOURAGED TO SPEAK WITH NEIGHBORING OWNERS AND THE PREVIOUS OWNERS OF YOUR LAND TO OBTAIN FIRST-HAND KNOWLEDGE OF YOUR PROPERTY'S SPECIFIC FLOOD HISTORY.**

**DISCLAIMER OF LIABILITY.** The County floodplain ordinance does not create liability on the part of Board of County Commissioners of Columbia County or any officer or employee thereof for any flood damage that results from reliance on the ordinance, or any administrative decision lawfully made thereunder. Again, it is your responsibility to assess your property's flood risk and build accordingly.

**For more information**, see the Columbia County Code of Ordinances, Land Development Regulations, Article 8, at: [https://library.municode.com/fl/columbia\\_county](https://library.municode.com/fl/columbia_county). Additional information can also be found on the County Building Department's web page: <https://www.columbiacountyfla.com/BuildingandZoning.asp>.

## **ACKNOWLEDGEMENT**

I have read and understand the foregoing **NOTICE TO APPLICANT/OWNER REGARDING FLOOD ZONES**. I understand it is my responsibility to determine my property's flood risk, and that the County has made me no assurances that my property can not or will not flood.

**OWNER SIGNATURE:** \_\_\_\_\_

**PRINT NAME:** \_\_\_\_\_

**PARCEL # OR ADDRESS:** \_\_\_\_\_

# Product Approval Code Specifications

As required by Florida Statute 553.842 and Florida Administrative Code 8B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ [www.floridabuilding.org](http://www.floridabuilding.org)

**\*Paper form not required if online submittal for roofs ONLY**

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>1. Exterior Doors</b>			
A. Swinging			
B. Sliding			
C. Sectional/Roll Up			
D. Other			
<b>2. Windows</b>			
A. Single/Double Hung			
B. Horizontal Slider			
C. Casement			
D. Fixed			
E. Mullion			
F. Skylights			
G. Other			
<b>3. Panel Walls</b>			
A. Siding			
B. Soffits			
C. Storefronts			
D. Glass Block			
E. Other			
<b>4. Roofing Products</b>			
A. Asphalt Shingles			
B. Non-Struct Metal			
C. Roofing Tiles			
D. Single Ply Roof			
E. Other			
<b>5. Struct Components</b>			
A. Wood Connectors			
B. Wood Anchors			
C. Truss Plates			
D. Insulation Forms			
E. Lintels			
F. Others			
<b>6. New Exterior</b>			
A. Envelope Products			

# **ROOFING UNDERLayment AFFIDAVIT**

**Columbia County, Florida  
Building Department**  
135 NE Hernando Avenue  
Lake City, Florida 32055  
Phone: 386-758-1008  
[columbiacountyfla.com](http://columbiacountyfla.com)

## **REQUIRED FOR WALK-IN OR PAPER SUBMITTALS**

[www.columbiacountyfla.com](http://www.columbiacountyfla.com)

**Job Address:** \_\_\_\_\_

I (Print Name) \_\_\_\_\_, as a Florida license Roofing Contractor or an Owner Builder, I understand to comply with the 2023 Florida Building Code 8th Edition underlayment requirements, I must select an option for sealing the roof deck.

The options are summarized below...

- A self-adhering polymer-modified bitumen underlayment complying with ASTM D1970 applied over the entire roof.
- A minimum 4-inch-wide strip of self-adhering polymer-modified bitumen complying with ASTM D1970 or a minimum  $3\frac{3}{4}$  - wide strip of self-adhering flexible flashing tape complying with AAMA 711, applied over all joints in the roof decking. A felt underlayment complying with ASTM D226 Type II, ASTM D4869 Type III or IV, or ASTM D6757, or a synthetic underlayment meeting the performance requirements specified, is required to be applied over the strips/tape over the entire roof.
- Two layers of felt underlayment comply with ASTM 0226 Type II or ASTM D4869 Type III or IV, or two layers of a synthetic underlayment meeting the performance requirements specified, lapped and fastened as specified.
- Other (explain) \_\_\_\_\_

Contractor/Owners Signature \_\_\_\_\_

**FINAL INSPECTION & CERTIFICATE OF COMPLETION:** This completed form and photographs must be uploaded to your permit via online at the Application Submission login (link) [Welcome to Columbia County Online \(columbiacountyfla.com\)](http://columbiacountyfla.com).

If for a roofing permit, **clearly visible in the Photographs** must be the permit number or address and **must include a ruler or measuring device to confirm nail spacing and overlaps including drip edge and valley flashing.** (Not required for additions or New Residential)

TAX ID/PARCEL #:

**NOTICE OF COMMENCEMENT**

**THE UNDERSIGNED** hereby gives notice that improvements will be made to certain realy property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT**.

1. **Description of property (legal description):** \_\_\_\_\_  
a. Street (job) Address: \_\_\_\_\_
2. **General description of improvements:** \_\_\_\_\_
3. **Owner Information or Lessee information if the Lessee contracted for the improvements**  
a. Name and Address: \_\_\_\_\_  
b. Name and Address of fee simple titleholder (if other than owner): \_\_\_\_\_  
c. Interest in property: \_\_\_\_\_
4. **Contractor Information**  
a. Name and Address: \_\_\_\_\_  
b. Telephone #: \_\_\_\_\_
5. **Surety Information (if applicable, a copy of the payment bond is attached)**  
a. Name and Address: \_\_\_\_\_  
b. Amount of Bond: \_\_\_\_\_  
c. Telephone #: \_\_\_\_\_
6. **Lender**  
a. Name and Address: \_\_\_\_\_  
b. Telephone #: \_\_\_\_\_
7. **Person within the State of Florida designated by Owner upon whom notices, or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes**  
a. Name and Address: \_\_\_\_\_  
b. Telephone #: \_\_\_\_\_
8. **In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes**  
a. Name: \_\_\_\_\_  
b. Telephone #: \_\_\_\_\_
9. **Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified):** \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE SITE OF THE IMPROVEMENT BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA

COLUMBIA COUNTY

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager

Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me by means of  physical presence or sworn to (or affirmed) by  online notarization \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, by \_\_\_\_\_  
as \_\_\_\_\_ for \_\_\_\_\_

DATE

MONTH

YEAR

NAME OF PERSON

TYPE OF AUTHORITY - OFFICER, TRUSTEE, ATTORNEY IN FACT

NAME OF PART ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

Personally Known \_\_\_\_\_ OR Produced Identification \_\_\_\_\_ Type of ID Produced \_\_\_\_\_

SEAL/STAMP:

SIGNATURE OF NOTARY PUBLIC - STATE OF FLORIDA

# OWNER BUILDER DISCLOSURE STATEMENT

(Initial each section and sign)

Columbia County, Florida

Building Department

135 NE Hernando Avenue

Lake City, Florida 32055

Phone: 386-758-1008

## Florida Statutes Chapter 489.103:

[www.columbiacountyfla.com](http://www.columbiacountyfla.com)

1. I understand that state law requires construction to be done by a **licensed contractor** and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a **licensed contractor** to assume responsibility.

3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from **potential financial risk** by hiring a **licensed contractor** and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.

4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence **must be for my own use or occupancy**. It may not be built or substantially improved for sale or lease, unless I am completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

5. I understand that, as the owner-builder, I must provide **direct, onsite supervision** of the construction.

6. I understand that I **may not hire an unlicensed person** to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the **licenses required by law** and by county or municipal ordinance.

\_\_\_\_\_ 7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, **may be held liable** and subjected to **serious financial risk** for any injuries sustained by an unlicensed person on his or her employees while working on my property. My **homeowner's insurance may not provide coverage** for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

\_\_\_\_\_ 8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I **must comply with laws requiring the withholding of federal income tax and social security contributions** under the Federal Insurance Contributions Act (FICA) and **must provide workers' compensation** for the employee. I understand that my **failure to follow these laws may subject me to serious financial risk**.

\_\_\_\_\_ 9. I agree that, as the party legally and financially responsible for this proceed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employees. I also understand that the construction **must comply with all applicable laws, ordinances, building codes, and zoning regulations**.

\_\_\_\_\_ 10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may **contact the Florida Construction Industry Licensing Board** at 850-487-1395 or <http://www.myfloridalicense.com/> for more information about licensed contractors.

\_\_\_\_\_ 11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that **I am the party legally and financially responsible** for the proposed construction activity at the following address:

---

(Address of jobsite property)

\_\_\_\_\_ 12. I agree to **notify Columbia County Building Department** immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. **Licensed contractors are regulated** by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be **unable to assist you with any financial loss** that you sustain as a result of complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held **liable for damages**. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for **verifying whether the contractor is properly licensed** and the status of the contractor's workers' compensation coverage.

**Florida Statutes Chapter 489.103:**

\_\_\_\_\_ 13. State law requires electrical contracting to be done by **licensed electrical contractors**. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own electrical contractor even though you do not have a license. You may install electrical wiring for a farm outbuilding or a single-family or duplex residence. You may install electrical wiring in a commercial building the aggregate construction costs of which are under \$75,000. The home or building must be for your own use and occupancy. **It may not be built for sale or lease**, unless you are completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If you sell or lease more than one building you have wired yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You **may not hire an unlicensed person** as your electrical contractor. Your construction shall be done according to **building codes and zoning regulations**. It is your responsibility to make sure that people employes by you have **licenses required by state law** and by county or municipal licensing ordinances.

\_\_\_\_\_ 14. An owner of property completing the requirements of a building permit, where the contractor listed on the permit **substantially completed the project** as determined by the local permitting agency, for a one-family or two-family residence, townhome, accessory structure of a one-family or two-family residence or townhome or individual residential condominium unit or cooperative unit. Prior to the owner qualifying for the exemption, the owner must receive approval from the local permitting agency, and the local permitting agency must determine that the contractor substantially completed the project. An owner who qualifies for the exemption under this paragraph is **not required to occupy** the dwelling or unit for at least 1 year after the completion of the project.

Before a building permit shall be issued, this notarized disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit.

**TYPE OF CONSTRUCTION**

*Single Family Dwelling*       *Two-Family Residence/Duplex*

*Addition / Alteration / Modification*       *Electrical*

*Contractor substantially complete project of a* \_\_\_\_\_

*Commercial -*

***Cost of Construction*** \_\_\_\_\_ for construction of \_\_\_\_\_

I \_\_\_\_\_, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Department.

Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**NOTARY OF OWNER BUILDER SIGNATURE**

**STATE OF** \_\_\_\_\_

**COUNTY** \_\_\_\_\_

The foregoing instrument acknowledged before me by means of ( ) physical presence or ( ) online notarization, this \_\_\_\_\_ day \_\_\_\_\_ of 20\_\_\_\_, by \_\_\_\_\_, who is ( ) personally known to me or ( ) has provided the following identification: \_\_\_\_\_

(Seal)

Notary Public Signature \_\_\_\_\_

Notary Printed Name \_\_\_\_\_